

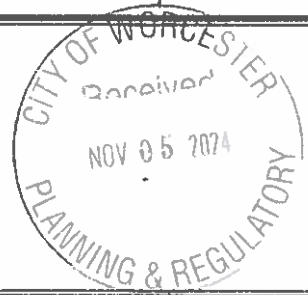
RECEIVED  
WORCESTER CITY CLERK



**VARIANCE APPLICATION**

2024 NOV -5 PM 2:58

**CITY OF WORCESTER ZONING BOARD OF APPEALS**  
455 Main Street, Room 404, Worcester, MA 01608  
Phone 508-799-1400 ext. 31440 - Fax 508-799-1406



Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Address: 54 West Street

Parcel ID or MBL: 02-046-00052

If more than one structure on the lot, identify relevant structure requiring relief: \_\_\_\_\_

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:		Setback required:		Setback required:	
Square footage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	200	Setback required:		Setback required:	
Frontage provided:	90	Setback provided:		Setback provided:	
Relief requested:	110	Relief requested:		Relief requested:	
Off-street Parking		Height		Accessory Structure 5-foot Setback	
Parking required:	14	Height permitted:		Type of structure:	
Parking provided:	8	Height provided:		Square footage of structure:	
Relief requested:	6	Relief requested:		Relief requested:	
Off-street Loading		Other Variances			
Loading required:		Relief requested:			
Loading provided:		Zoning Ordinance Article & Section:			
Relief requested:		Requirement:			
		Provided:			

If you are requesting Variances for more than one structure or lot, provide this sheet for each structure/lot. Only complete the sections pertaining to the Variances (s) you are applying for.

1. Property Information

a. 54 West Street

Address(es) – please list all addresses the subject property is known by

b. 02-045-00052

Parcel ID or Map-Block-Lot (MBL) Number

c. Worcester District Registry of Deeds, Book 68937 Page 270

Current Owner(s) Recorded Deed/Title Reference(s)

d. BO-1

Zoning District and all Zoning Overlay Districts (if any)

e. Existing three story office building

Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use):

f. 7 bedrooms proposed. 0 existing.

If residential, describe how many bedrooms are pre-existing and proposed

2. Applicant Information

a. Ying Rizika and Xiulan Chang

Name(s)

b. 18 Mannor Road, Millbury, MA 01527

Mailing Address(es)

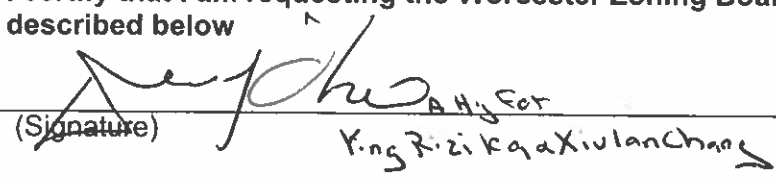
c. c/o djo@oneilbarrister.com/(508) 755-5655

Email and Phone Number(s)

d. Owners

Interest in Property (e.g., Lessee, Purchaser, etc.)

I certify that I am requesting the Worcester Zoning Board of Appeals to grant the Variance as described below

(Signature)  Ying Rizika and Xiulan Chang


3. Owner of Record Information (if different from Applicant)

a. \_\_\_\_\_  
Name(s)


b. \_\_\_\_\_  
Mailing Address(es)

c. \_\_\_\_\_  
Email and Phone Number

4. Representative Information

- a. Donald J. O'Neil  
Name(s)
- b.   
Signature(s)
- c. 688 Pleasant Street, Worcester, MA 01602  
Mailing Address(es)
- d. djo@oneilbarrister.com/ (508) 755-5655  
Email and Phone Number
- e. Lawyer  
Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

5. Owner Authorization

Authorization I,  AN FU Ming Rizi Ka  
Xiu Lan Chang, Owner of Record of the property listed with the  
 Assessing Division of the City of Worcester, Massachusetts as Map 02 Block 046 Lot(s) 00052, do hereby  
 authorize Donald J. O'Neil to file this application with the Division of Planning &  
 Regulatory Services of the City of Worcester on this the 13th day of August, 2024.

6. Proposal Description

- a. Convert office building to residential use for 7 one bedroom/studio units with 8 parking spaces. Excess parking to used to provide 4 parking spaces for 60 William Street.  
 The applicant seeks to (Describe what you want to do on the property in as much detail as possible)
- b. Unknown.  
 Are you aware if this property has been previously granted approvals from any City Board or Commission? If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions)
- d. No.  
 Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g., a cease-and-desist order has been issued)?
- e. Zoning relief necessary for adaptive reuse of existing structure.  
 List any additional information relevant to the Variance (s)

## VARIANCE - FINDINGS OF FACT

In the spaces below, please explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(3) of the Zoning Ordinance. *Attach additional supporting documentation as necessary.*

1. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

A literal enforcement of the zoning ordinance would entail a substantial hardship for the owner of the property by preventing the reuse of same for appropriate residential use taking into account the previous historical use of the site.

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The existing structure on the site, which was built prior to the adoption of current zoning requirements, represents a hardship for the owner in that size and layout of the building necessitate the creation of a sufficient number units to cover the renovation cost associated with the conversion of the premises to residential use. The property is situated in a developed area which leaves the applicant no ability to acquire additional land area to meet current requirements.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The proposed residential use is an allow use within the B0-1 Zone and is in keeping with the surrounding neighborhood and will return the property to its original use. Proposal will add additional dwelling units to the City's housing stock to help meet the demand for same and will return a under utilized structure to productive use.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants, or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The request relief is the minimum required for the proposal submitted. The property has 150 feet of frontage on Cedar Street in addition to 90 feet of frontage on West Street however the building fronts on West Street and can not be altered significantly to face Cedar Street due to the historic nature of the building. The requested relief for parking is reasonable given the size of the proposed units which are all one bedroom/studio units there being no demonstrable need for two parking spaces per unit.


**TAX CERTIFICATION**

This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

**If a Single Owner or Proprietorship:**

- a. \_\_\_\_\_  
Name
- b. \_\_\_\_\_  
Signature certifying payment of all municipal charges
- c. \_\_\_\_\_  
Mailing Address
- d. \_\_\_\_\_  
Email and Phone Number

**If a Partnership or Multiple Owners:**

- e. Ying Rizika / Xiulan Chang  
Names
- f.  \_\_\_\_\_  
Signature certifying payment of all municipal charges
- g. 18 Mannor Road, Millbury, MA 01527  
Mailing Address
- h. c/o djo@oneilbarrister.com/ (508) 755-5655  
Email and Phone Number

**Applicant, if different from owner:**

- i. \_\_\_\_\_  
Printed Name & Signature of Applicant, certifying payment of all municipal charges

**If a Corporation or Trust:**

- j. \_\_\_\_\_  
Full Legal Name
- k. \_\_\_\_\_  
State of Incorporation
- \_\_\_\_\_  
Principal Place of Business
- l. \_\_\_\_\_  
Mailing Address or Place of Business in Massachusetts
- m. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- n. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

### Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 42

Parcel Address: 54 WEST ST  
 Assessor's Map-Block-Lot(s): 02-046-000052  
 \_\_\_\_\_  
 Owner: RIZIKA, YING + CHANG, XIULAN  
 \_\_\_\_\_  
 Owner Mailing: 18 MANOR RD  
MILLBURY, MA 01527  
 Petitioner (if other than owner): DONALD J ONEIL  
 Petitioner Mailing Address: 688 PLEASANT ST  
WORCESTER, MA  
 Petitioner Phone: 5087555655

Planning: \_\_\_\_\_ Zoning: X License Commission: \_\_\_\_\_ Conservation Commission: \_\_\_\_\_  
 Historical: \_\_\_\_\_ Cannabis: \_\_\_\_\_ Other: \_\_\_\_\_

WORCESTER MONTROSE LIMITED	03-035-001-3	0050 ELM ST	WORCESTER, MA 01609
ZHANG, YING	02-039-00020	0128 INSTITUTE RD APT 1	WORCESTER, MA 01602
WW3RDTIMEAROUND LLC	02-040-00030	0250 COMMERCIAL ST STE 400	WORCESTER, MA 01608

HAMPTON PROPERTIES LLC	02-046-00042	95 ELM ST SUITE 100	WORCESTER, MA 01609
HAMPTON PROPERTIES LLC	03-035-00010	P.O. BOX 5495	WAYLAND, MA 01778
WW3RDTIMEAROUND LLC	02-040-00033	0250 COMMERCIAL ST STE 400	WORCESTER, MA 01608
69WESTST LLC	02-039-00022	0018 PUTNEY RD	WELLESLEY, MA 02481
MAZILU,AMELIA +	02-039-00043	0447 LEICESTER ST	AUBURN, MA 01501
ROTTI,JAMES A	02-039-23+33	0058 MILL RD	BOYLSTON, MA 01505
53 WILLIAM STREET LLC	02-046-00043	0028 AUDUBON WAY	STURBRIDGE, MA 01566
MILLER,DEANNA C + KELLY T TRUSTEES	02-046-00044	8576 E 51ST AVE	DENVER, CO 80238
MILLER,DEANNA C + KELLY T TRUSTEES	02-046-00044	8576 E 51ST AVE	DENVER, CO 80238
TORVELLA CEDAR LLC	02-046-00045	0045 POND ST	NORWELL, MA 02061
DOVETAIL REALTY LLC	02-039-00026	0039 WILLIAM ST	WORCESTER, MA 01609
DOVETAIL REALTY LLC	02-039-34+35	0039 WILLIAM ST	WORCESTER, MA 01609
HAMPTON PROPERTIES LLC	02-039-24+25	P.O. BOX 5495	WAYLAND, MA 01778
TORVELLA CEDAR LLC	02-046-00050	0045 POND ST SUITE 200	NORWELL, MA 02061
SAVTON LLC	02-046-00051	0120 MAIN ST	WORCESTER, MA 01608
DWO REALTY LLC	02-046-00049	44 CEDAR ST	WORCESTER, MA 01609
DWO REALTY LLC	02-046-00049	44 CEDAR ST	WORCESTER, MA 01609
LANDRUM-ALVES,STEFFEN	02-039-00028	PO BOX 300396 SUITE 5	BOSTON, MA 02130
RIZIKA,YING + CHANG,XIULAN	02-046-00052	0018 MANOR RD	MILLBURY, MA 01527
LANDRUM GLOBAL INC	02-039-00040	PO BOX 300396 SUITE 5	BOSTON, MA 02130
HAIMS INVESTMENT GROUP INC	03-035-00008	P.O.. BOX 5495	WAYLAND, MA 01778
SCIREH FOUR LLC	03-034-00016	81 HOPE AVE (C/O ACCOUNTS PAYABLE)	WORCESTER, MA 01603
CEDAR WORCESTER APARTMENTS LLC	02-039-29+30	0002 SHEEHAN CIRCLE	FRAMINGHAM, MA 01701
HAMPTON PROPERTIES LLC	03-035-00005	P.O. BOX 5495	WAYLAND, MA 01778
BLACK EQUITY GROUP LLC	03-034-00015	0049 WEST ST	WORCESTER, MA 01609
DWO REALTY LLC	02-040-00028	44 CEDAR ST	WORCESTER, MA 01609
WW3RDTIMEAROUND LLC	02-040-00029	0250 COMMERCIAL ST STE 400	WORCESTER, MA 01608
HAMPTON PROPERTIES LLC	02-046-46+48	P.O. BOX 5495	WAYLAND, MA 01778
HAIMS INVESTMENT GROUP INC	03-035-00012	P.O. BOX 5495	WAYLAND, MA 01778
GRAJALES PROPERTIES LLC	03-035-00004	0037 SYLVAN ST	WORCESTER, MA 01603
WORCESTER CLUB	03-034-004-6	1 OAK ST	WORCESTER, MA 01609
GAVAL,MANSOUR TRUSTEE	03-034-02+12	0431 SALISBURY ST	WORCESTER, MA 01609-1241
71 ELM STREET NOMINEE REALTY TRUST	03-035-00007	0071 ELM ST	WORCESTER, MA 01608
C + G GROUP LLC	03-034-00001	0007 PEPPERBUSH CT	NORTH GRAFTON, MA 01536
C + G GROUP LLC	03-034-00001	0007 PEPPERBUSH CT	NORTH GRAFTON, MA 01536
HAMPTON PROPERTIES LLC	02-046-00047	P.O. BOX 5495	WAYLAND, MA 01778
GAVAL, MANSOUR	03-034-2+12B	431 SALISBURY ST	WORCESTER, MA 01609
GAVAL,MANSOUR TRUSTEE	03-034-00014	0431 SALISBURY ST	WORCESTER, MA 01609-1241
LOJA,BRUNA	03-034-00003	0035 CEDAR ST	WORCESTER, MA 01609

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 02-046-00052 as cited above.

Certified by:

\_\_\_\_\_  
*Samuel E. Koenig*

08/03/2023

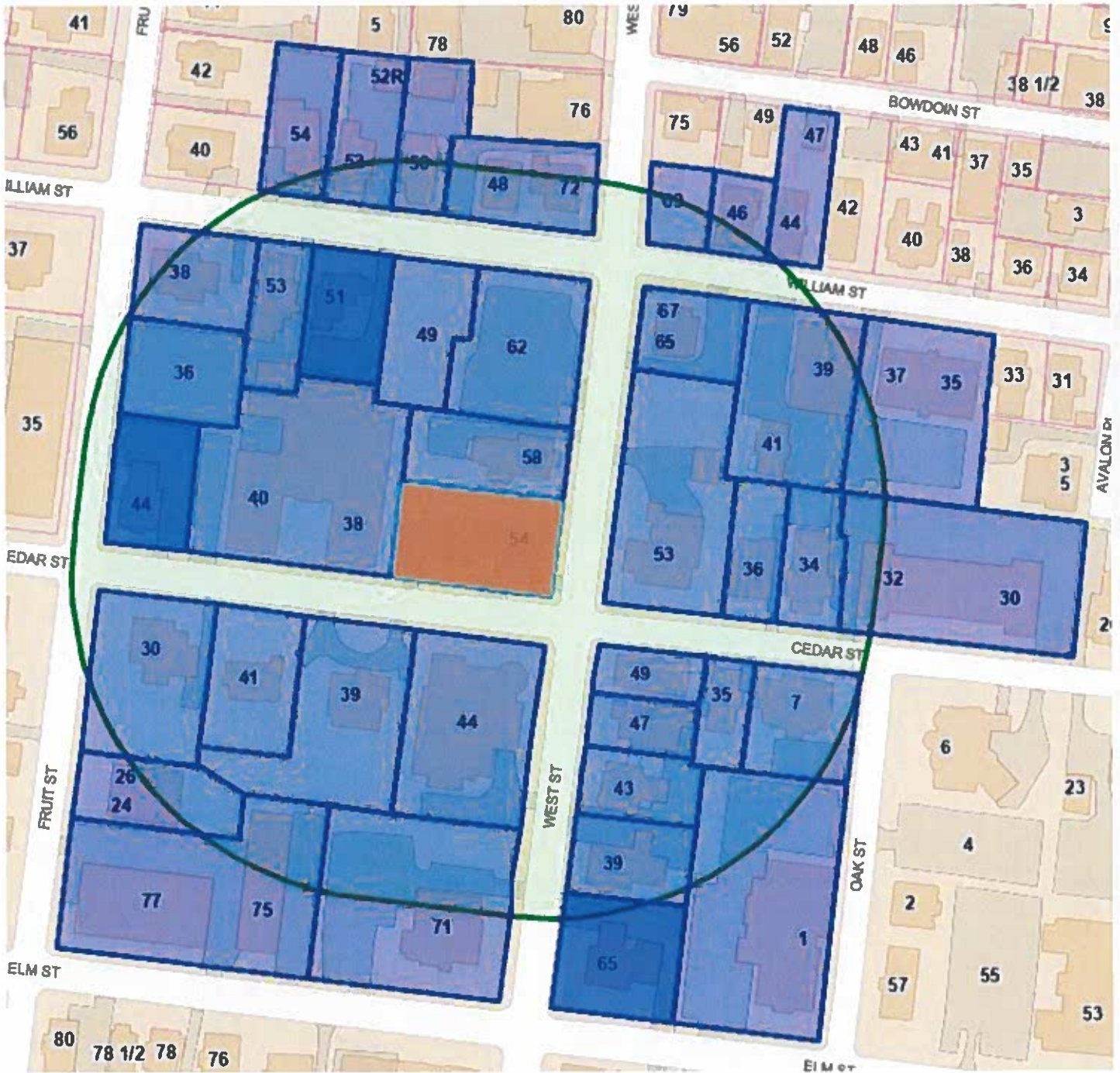
Signature

Date





### Abutters Map



**PROJECT : INTERIOR RENOVATION**

**PROJECT ADDRESS : 54 WEST ST, WORCESTER, MA**

**PROJECT SUMMARY:**

**INTERIOR RENOVATION  
1ST FLOOR - 3 UNITS  
2ND FLOOR - 3 UNITS  
3RD FLOOR - 1 UNIT**

**DRAWING LIST:**

Sheet Number	Sheet Name
A00	COVER SHEET
A101	BASEMENT PLAN - PROPOSED
A102	FIRST FLOOR PLAN - PROPOSED
A103	SECOND FLOOR PLAN - PROPOSED
A104	ATTIC PLAN - PROPOSED
A601	FIRST FLOOR FRAMING PLAN
A602	SECOND FLOOR FRAMING PLAN
A603	THIRD FLOOR FRAMING PLAN
D001	BASEMENT FLOOR PLAN
D002	DEMOLITION PLAN FIRST LEVEL
D003	DEMOLITION PLAN SECOND LEVEL
D004	DEMOLITION PLAN ATTIC EXISTING

Grand total: 12



ARCHITECT:  
UP DESIGN & BUILD, LLC  
EMAIL:  
INFO@UPDesignBuild.COM  
PHONE:  
617-902-8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

54 WEST ST

Worcester, MA

**COVER SHEET**

Project number 0.08

Date 04/07/2024

Drawn by Author

Checked by Checker

**A00**

Scale

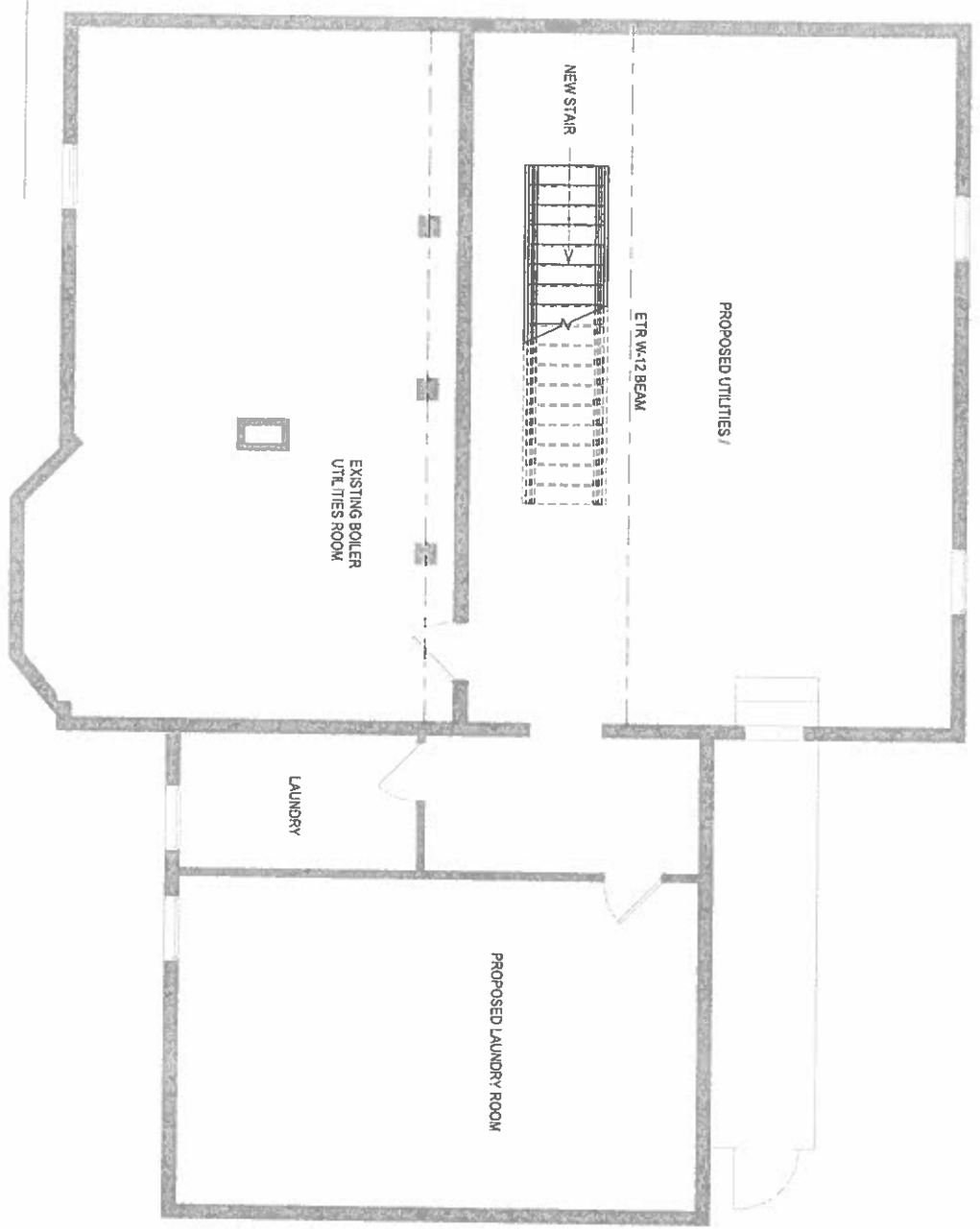
GENERAL NOTE:  
 CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH OWNER FOR ALL CONSTRUCTION ISSUES. THIS DRAWING SET IS TO SHOW GENERAL LAYOUT AND FOR PERMIT APPLICATION ONLY. CONTRACTOR/OWNER SHALL CONSULT PROFESSIONAL ENGINEER REGARDING ALL FRAMING AND STRUCTURAL ISSUES. CONTRACTOR AND OWNER AGREE TO INDEMNIFY, HOLD HARMLESS AND PROTECT ARCHITECT FROM ANY CLAIMS OR LOSSES RELATED TO THIS PROJECT.

FIRE ALARM LEGEND

①	SMOKE ALARM	⊕	CO/SMOKE COMBO
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LEGEND:

	EXISTING TO REMAIN
	DEMO
	NEW WORK



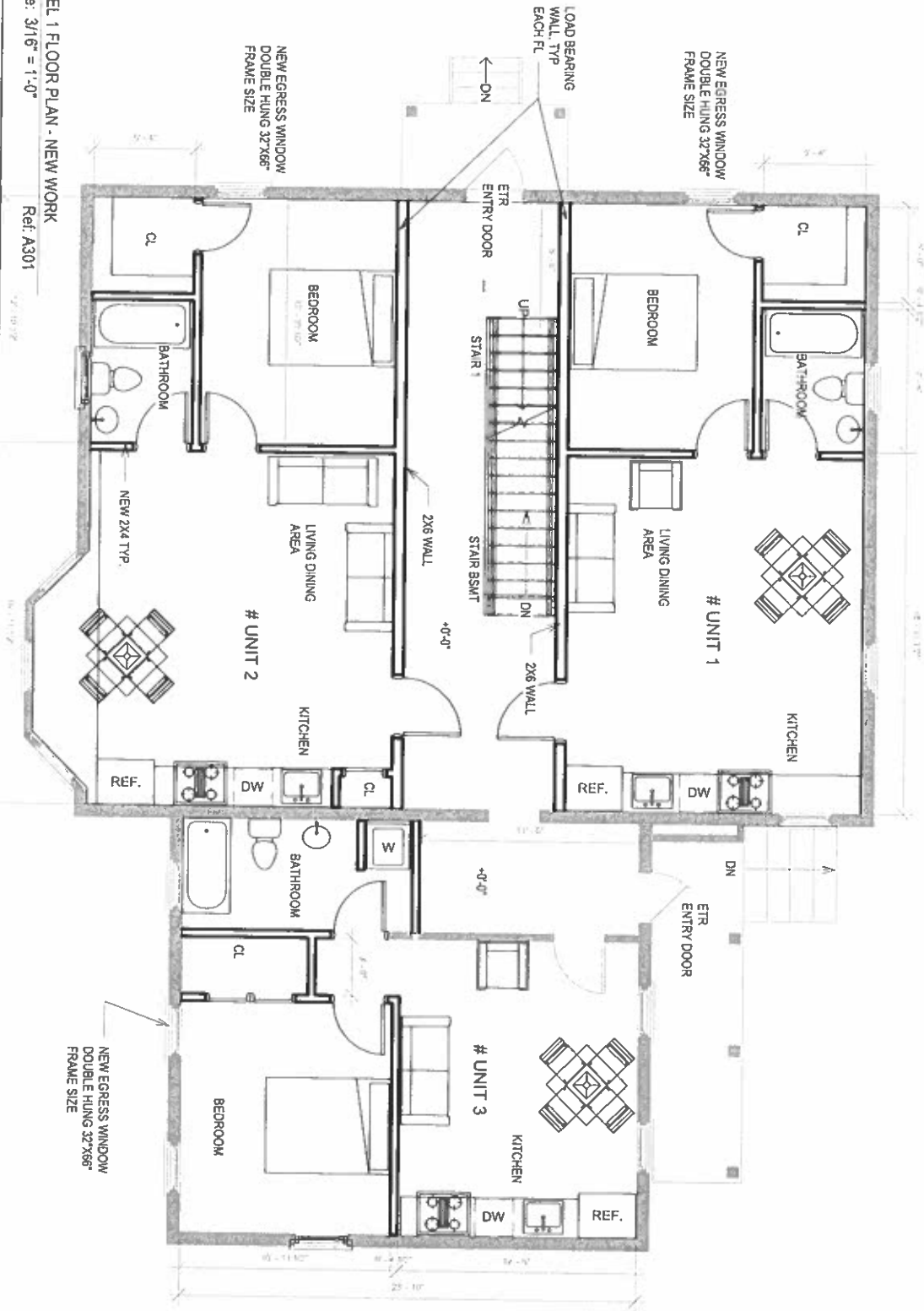
1 BASEMENT PLAN - NEW WORK  
 A101 Scale: 3/16" = 1'-0"

 ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: INFO@UPDesignBuild.COM PHONE: 617-902-8626	PRELIMINARY CONCEPT, NOT VALID WITHOUT STAMP	54 WEST ST Worcester, MA	<b>BASEMENT          PLAN -          PROPOSED</b>	Project number 0.08 Date 04/07/2024 Drawn by Tian Sun Checked by Checker	Scale As indicated <b>A101</b>
	4/7/2024 2:06:27 PM				

GENERAL NOTE:  
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- FIRE ALARM LEGEND
- ① SMOKE ALARM
  - ② COSMOKE COMBO

- LEGEND:
- EXISTING TO REMAIN
  - DEMO
  - NEW WORK



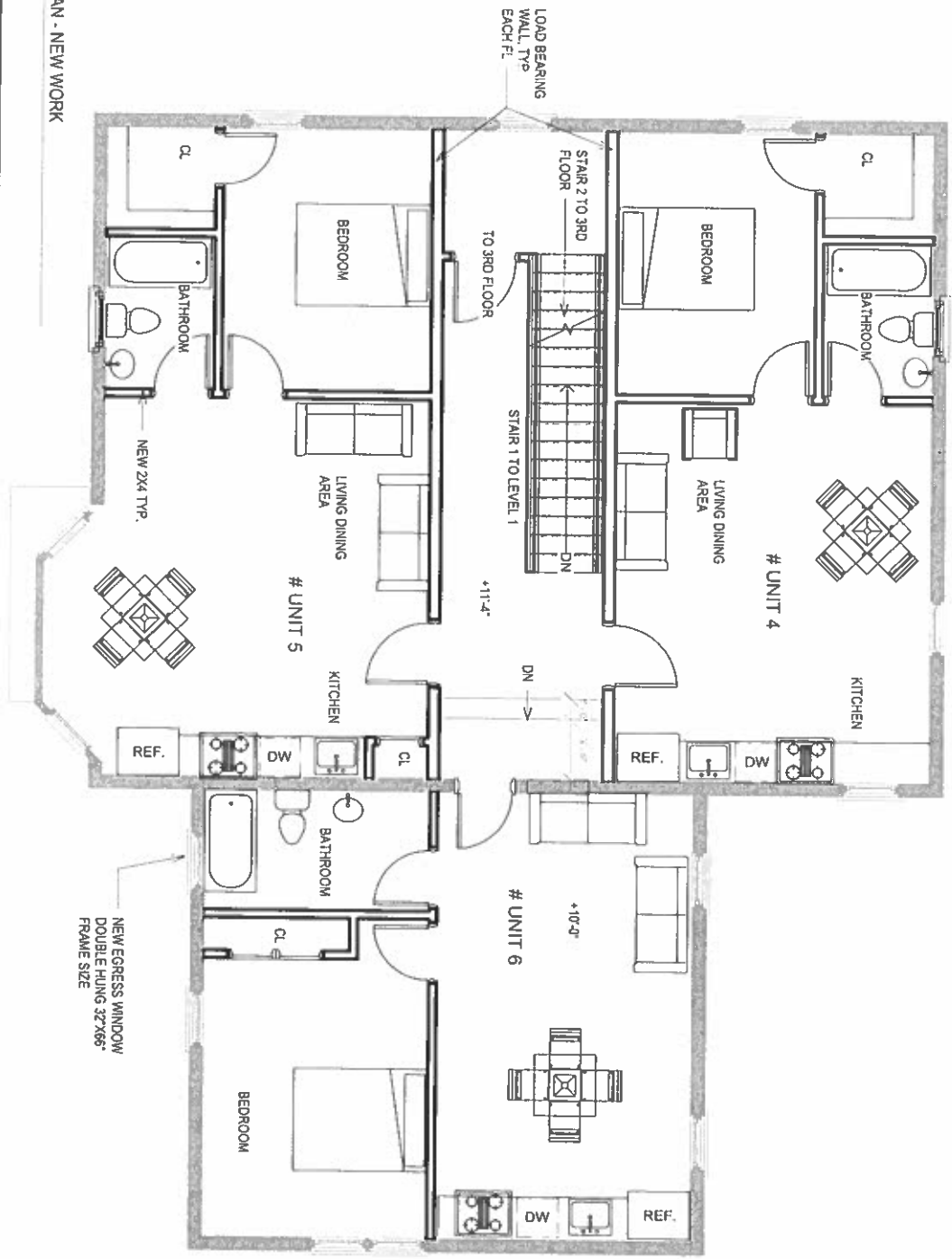
1 LEVEL 1 FLOOR PLAN - NEW WORK  
 A102 Scale: 3/16" = 1'-0" Ref: A301

<p>ARCHITECT: UP DESIGN &amp; BUILD, LLC</p> <p>EMAIL: INFO@UPDesignBuild.COM</p> <p>PHONE: 617-902-8626</p>	<p>PRELIMINARY CONCEPT          NOT VALID WITHOUT STAMP</p>	
	<p>54 WEST ST          Worcester, MA</p>	
<p><b>FIRST FLOOR PLAN - PROPOSED</b></p>		
Project number	0.08	
Date	04/07/2024	
Drawn by	Author	
Checked by	Checker	
Scale	As indicated	
<p><b>A102</b></p>		

GENERAL NOTE  
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- FIRE ALARM LEGEND
- ① SMOKE ALARM
  - Ⓢ COSMOKE COMBO

- LEGEND :
- EXISTING TO REMAIN
  - DEMO
  - NEW WORK



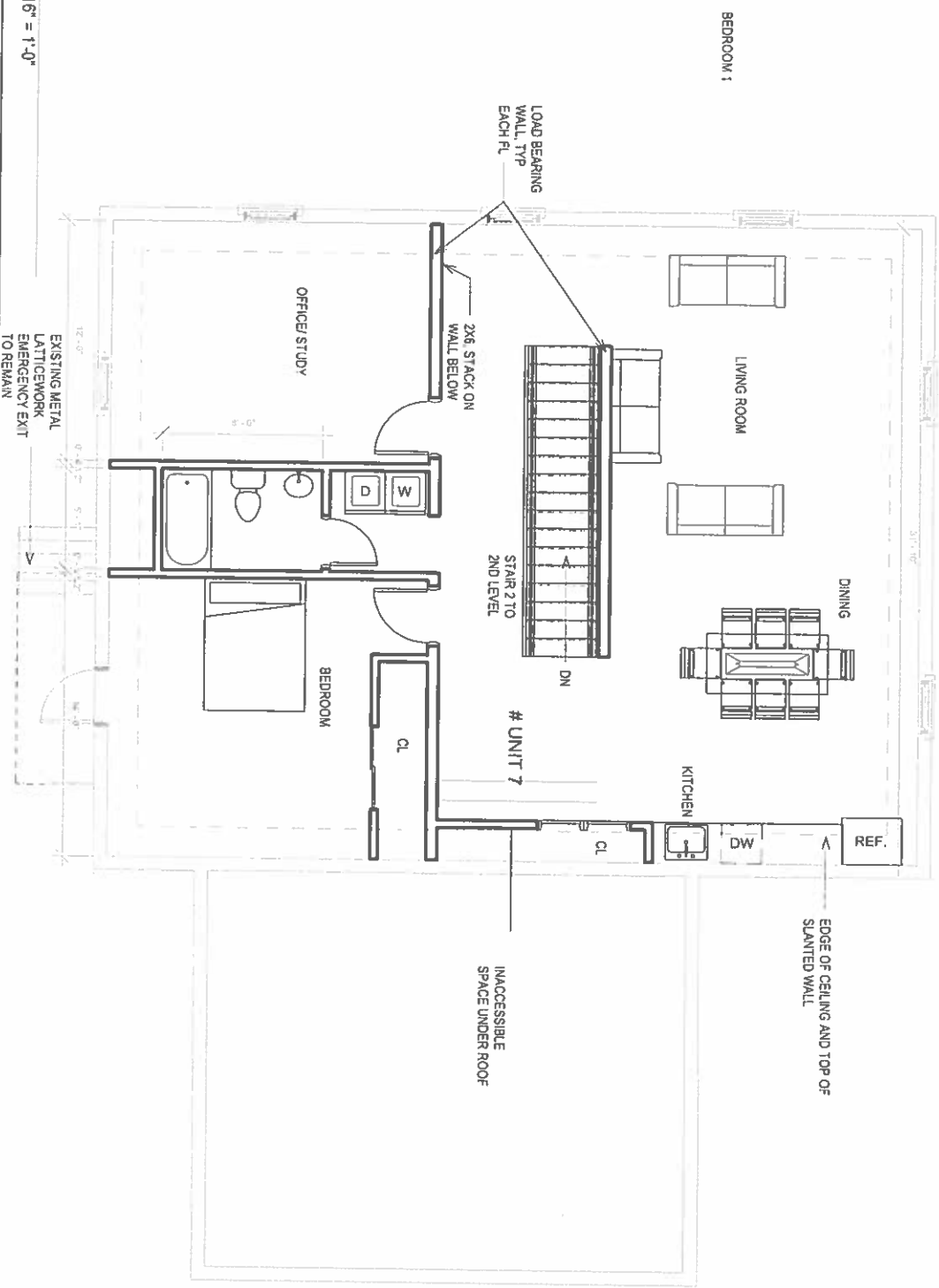
1 LEVEL 2 FLOOR PLAN - NEW WORK  
 A103 Scale: 3/16" = 1'-0"

<p>ARCHITECT: UP DESIGN &amp; BUILD, LLC        EMAIL: INFO@UpDesignBuild.COM        PHONE: 617-802-8828</p>	<p>PRELIMINARY CONCEPT          NOT VALID WITHOUT STAMP</p>	<p>54 WEST ST          Worcester, MA</p>	<p>SECOND          FLOOR PLAN -          PROPOSED</p>	<p>Project number: 0.08          Date: 04/07/2024          Drawn by: Author          Checked by: Checker</p>	<p>Scale: As indicated</p>
	<p>A103</p>				<p>4/7/2024 2:06:27 PM</p>

GENERAL NOTE:  
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- FIRE ALARM LEGEND**
- ① SMOKE ALARM
  - ② CO/SMOKE COMBO

- LEGEND**
- EXISTING TO REMAIN
  - DEMO
  - NEW WORK

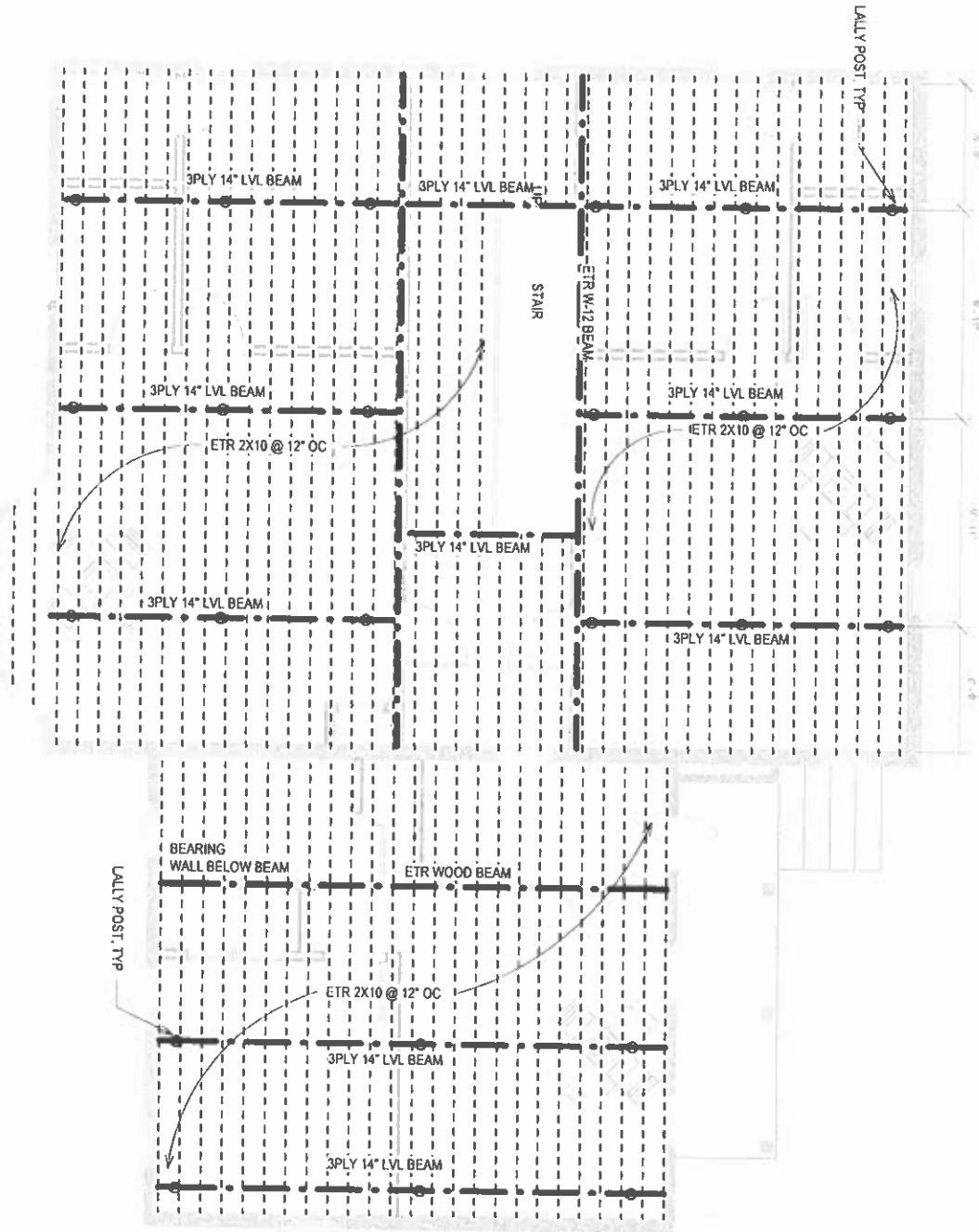


1 LEVEL 3  
 A104 Scale: 3/16" = 1'-0"

	ARCHITECT: UP DESIGN & BUILD, LLC	EMAIL: INFO@UPDesignBuild.COM	PHONE: 617-902 8626
	PRELIMINARY CONCEPT NOT VALID WITHOUT STAMP		
54 WEST ST Worcester, MA			
<b>ATTIC PLAN - PROPOSED</b>			
Project number	0.08		
Date	04/07/2024		
Drawn by	Author		
Checked by	Checker		
Scale	As indicated	<b>A104</b>	

1 LEVEL 1 - FRAMING  
 A601 Scale: 3/16" = 1'-0"

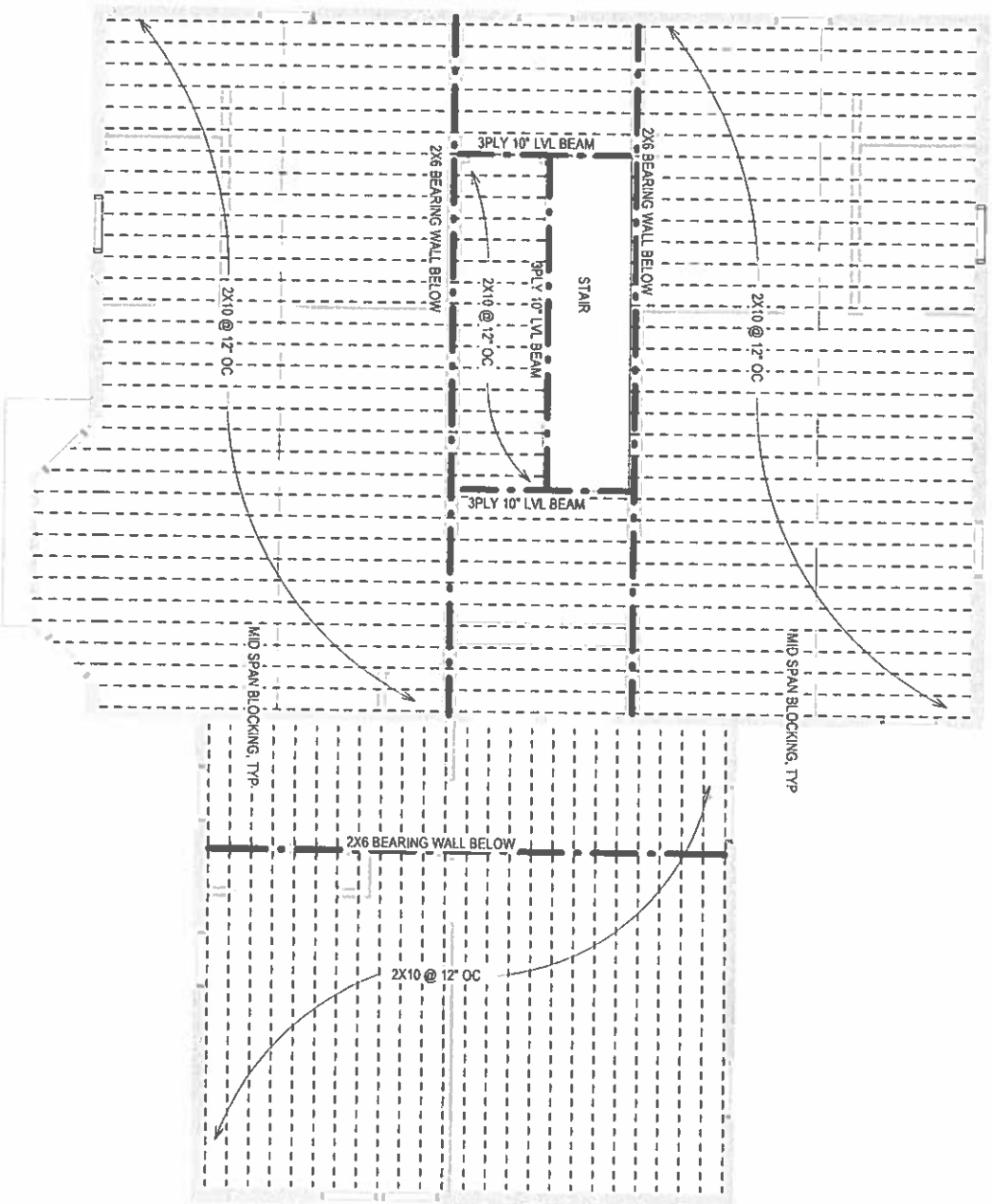
Ref: A301



	ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: INFO@UPDesignBuild.COM PHONE: 617-902-8626	PRELIMINARY CONCEPT NOT VALID WITHOUT STAMP	54 WEST ST Worcester, MA	Project number: 0.08 Date: 04/07/2024 Drawn by: Author Checked by: Checker	Scale: 3/16" = 1'-0" A601
	<b>FIRST FLOOR FRAMING PLAN</b>				

1 LEVEL 2 - FRAMING PLAN  
 A602 Scale: 3/16" = 1'-0"

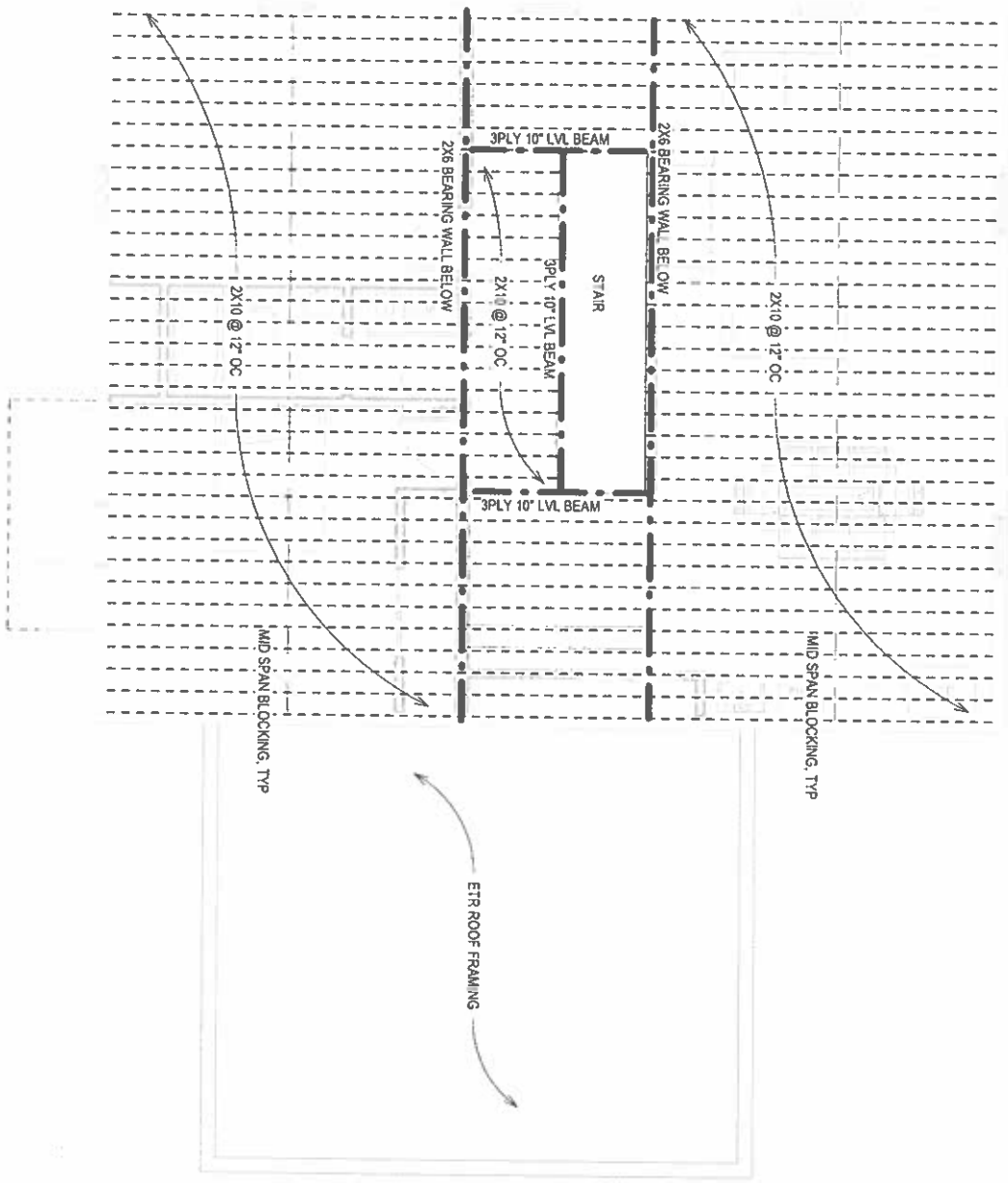
Ref: A301




	ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: info@updesignbuild.com PHONE: 617-502-8628
	PRELIMINARY CONCEPT NOT VALID WITHOUT STAMP
54 WEST ST Worcester, MA	SECOND FLOOR FRAMING PLAN
Project number 0.08 Date 04/07/2024 Drawn by Author Checked by Checker	Scale 3/16" = 1'-0"
<b>A602</b>	



1 LEVEL 3 - FRAMING  
 A603 Scale: 3/16" = 1'-0"

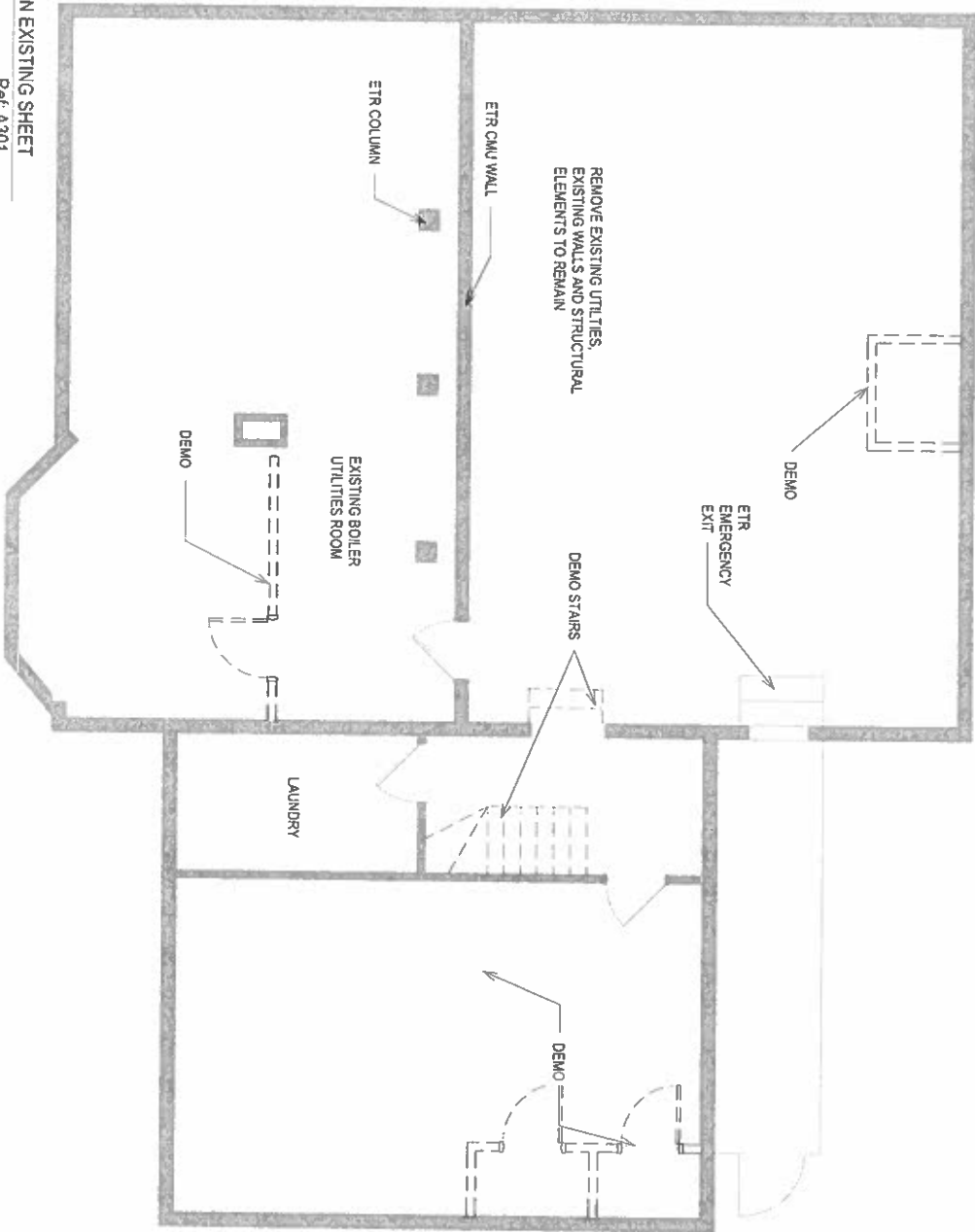


	
ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: info@UpDesignBuild.com PHONE: 617-902-8626	
PRELIMINARY CONCEPT NOT VALID WITHOUT STAMP	
54 WEST ST Worcester, MA	
<b>THIRD FLOOR FRAMING PLAN</b>	
Project number	0.08
Date	04/07/2024
Drawn by	Author
Checked by	Checker
<b>A603</b>	
Scale	3/16" = 1'-0"

GENERAL NOTE:  
 CONTRACTORS TO FIELD VERIFY AND COORDINATE WITH OWNER FOR ALL CONSTRUCTION ISSUES. THIS DRAWING SET IS TO SHOW GENERAL LAYOUT AND FOR PERMIT APPLICATION ONLY. CONTRACTOR/OWNER SHALL CONSULT PROFESSIONAL ENGINEER REGARDING ALL FRAMING AND STRUCTURAL ISSUES. CONTRACTOR AND OWNER AGREE TO INDEMNIFY, HOLD HARMLESS AND PROTECT ARCHITECT FROM ANY CLAIMS OR LOSSES RELATED TO THIS PROJECT.

FIRE ALARM LEGEND	
①	SMOKE ALARM
②	CO/SMOKE COMBO

LEGEND	
	EXISTING TO REMAIN
	DEMO
	NEW WORK



3 BASEMENT FLOOR PLAN EXISTING SHEET  
 D001 Scale: 3/16" = 1'-0" Ref: A301

 ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: info@updesignbuild.com PHONE: 617-902-8626	PRELIMINARY CONCEPT NOT VALID WITHOUT STAMP
	54 WEST ST Worcester, MA
<b>BASEMENT FLOOR PLAN</b>	Project number: 0.08
Date: 04/07/2024	Drawn by: Author
Checked by: Checker	D001
Scale: As indicated	4/7/2024 2:06:30 PM

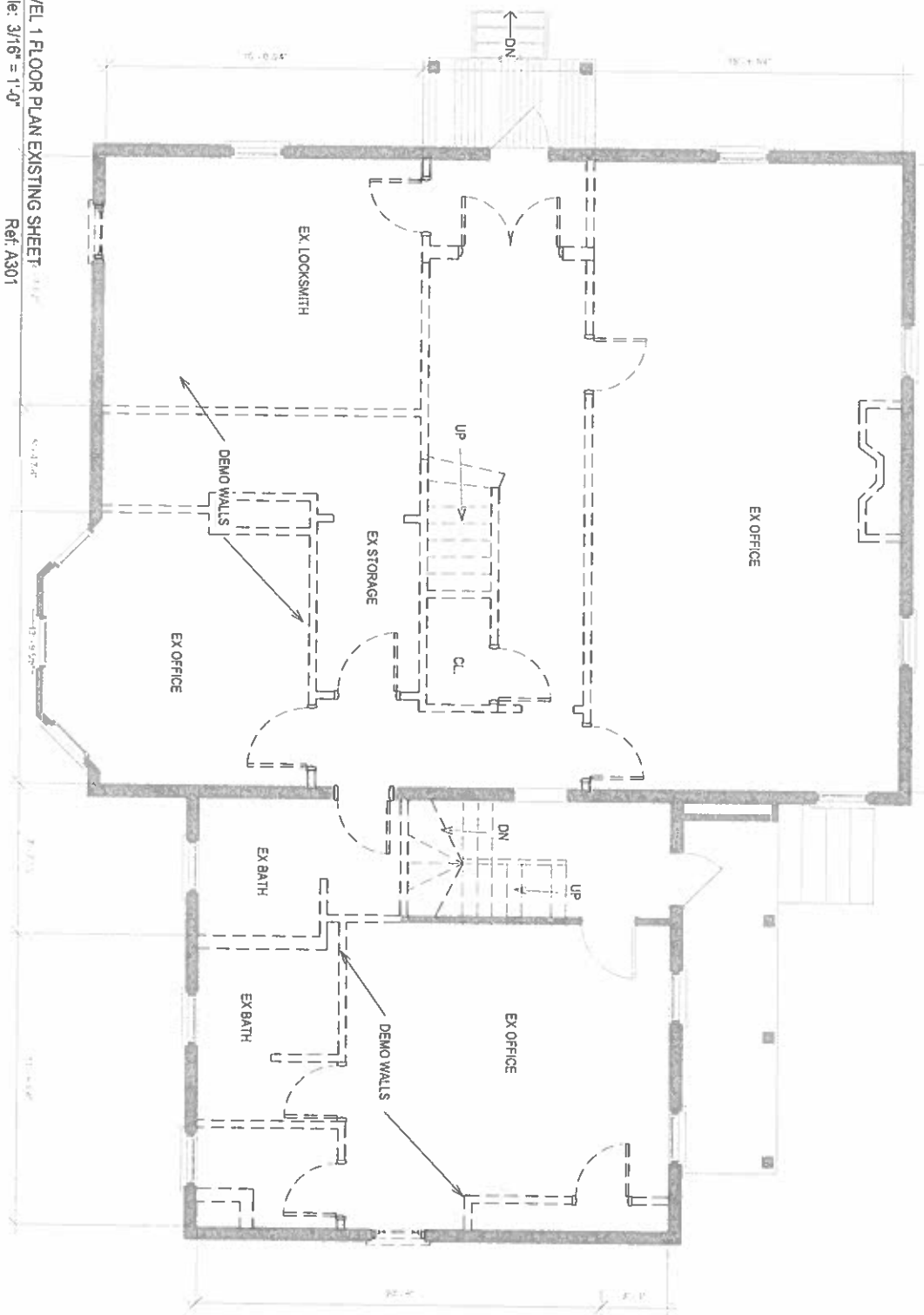
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**FIRE ALARM LEGEND**

①	SMOKE ALARM
②	CO/SMOKE COMBO

**LEGEND :**

	EXISTING TO REMAIN
	DEMO
	NEW WORK



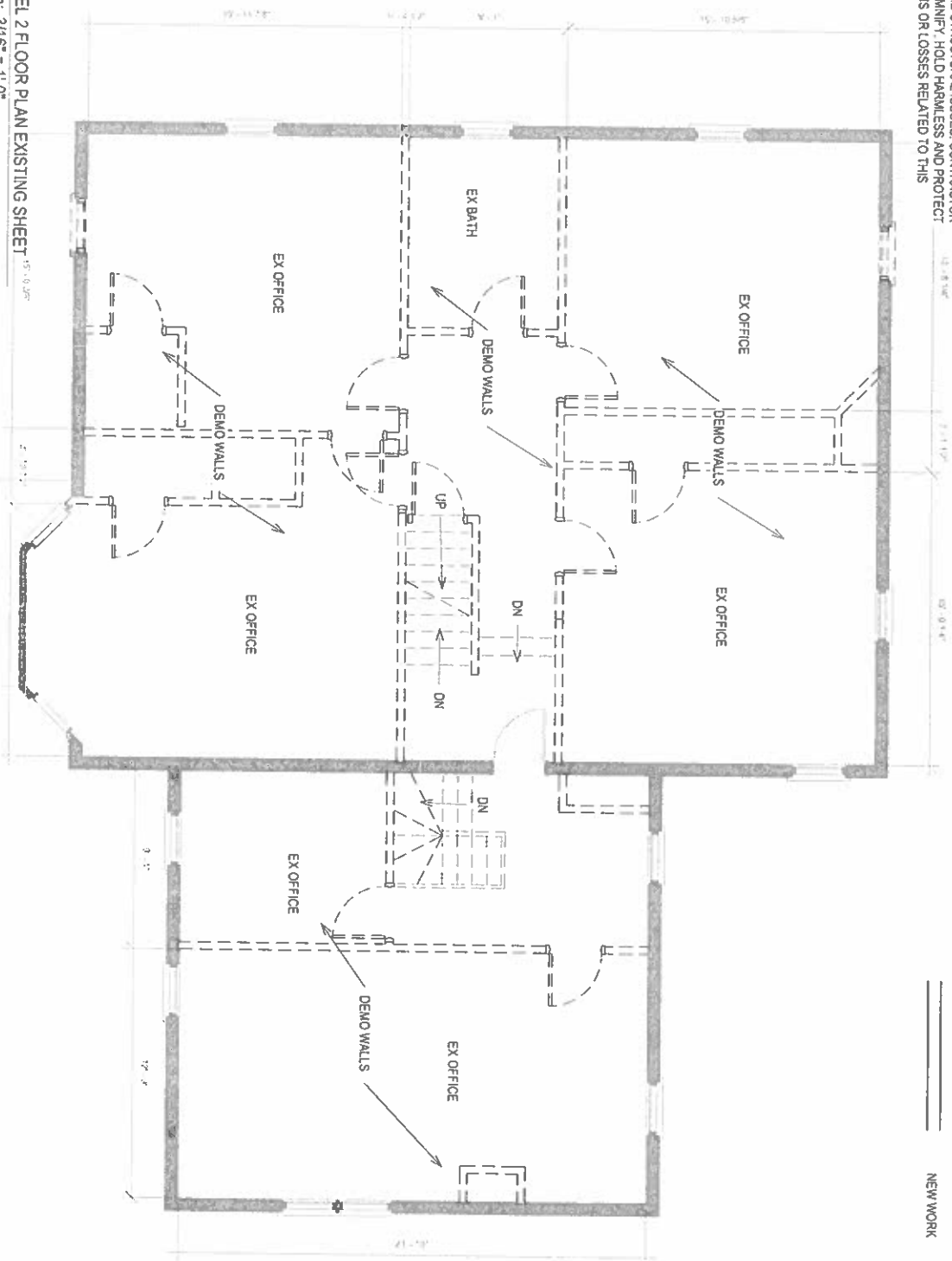
1 LEVEL 1 FLOOR PLAN EXISTING SHEET  
 D002 Scale: 3/16" = 1'-0"  
 Ref: A301

 ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: INFO@UPDesignBuild.COM PHONE: 617-502-6236	54 WEST ST Worcester, MA
	PRELIMINARY CONCEPT, NOT VALID WITHOUT STAMP
<b>DEMOLITION          PLAN FIRST          LEVEL</b>	
Project number	0.08
Date	04/07/2024
Drawn by	KX
Checked by	KX
<b>D002</b>	
Scale	As indicated

GENERAL NOTE  
 CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH OWNER FOR ALL CONSTRUCTION ISSUES. THIS DRAWING SET IS TO SHOW GENERAL LAYOUT AND FOR PERMIT APPLICATION ONLY. CONTRACTOR/OWNER SHALL CONSULT PROFESSIONAL ENGINEER REGARDING ALL FRAMING AND STRUCTURAL ISSUES. CONTRACTOR AND OWNER AGREE TO INDEMNIFY, HOLD HARMLESS AND PROTECT ARCHITECT FROM ANY CLAIMS OR LOSSES RELATED TO THIS PROJECT.

- FIRE ALARM LEGEND
- ① SMOKE ALARM
  - ② CO/SMOKE COMBO

- LEGEND:
- EXISTING TO REMAIN
  - DEMO
  - NEW WORK

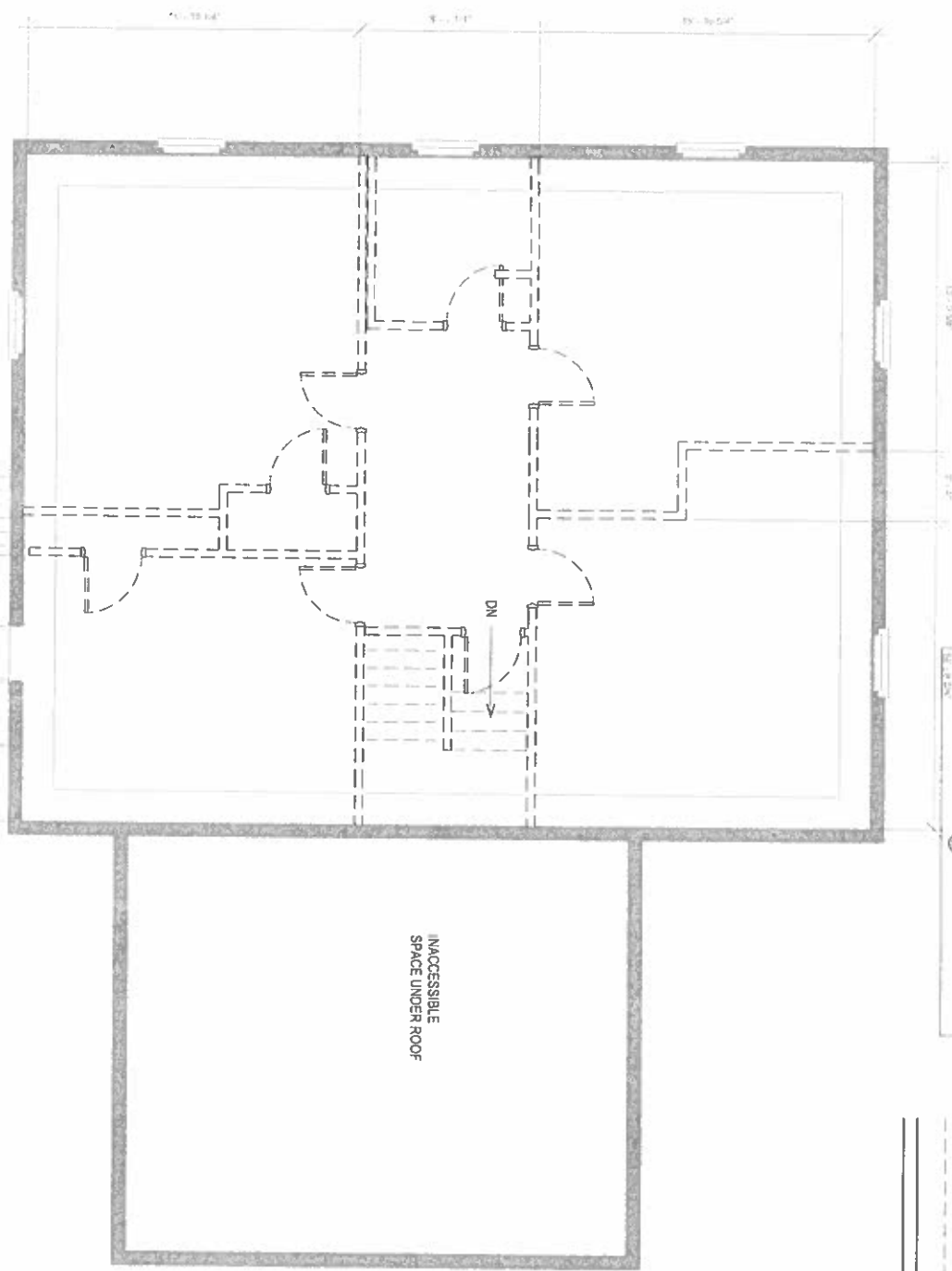


1 LEVEL 2 FLOOR PLAN EXISTING SHEET  
 Scale: 3/16" = 1'-0"

 ARCHITECT UP DESIGN & BUILD, LLC EMAIL: INFO@UPDesignBuild.COM PHONE: 617-302-8826	54 WEST ST Worcester, MA	<b>DEMOLITION          PLAN          SECOND          LEVEL</b>	Project number 0.08 Date 04/07/2024 Drawn by Author Checked by Checker	Scale As indicated <b>D003</b>
	PRELIMINARY CONCEPT NOT VALID WITHOUT STAMP			

1 ATTIC LEVEL PLAN  
 D004 Scale: 3/16" = 1'-0"

EXISTING METAL  
 LATTICEWORK  
 EMERGENCY EXIT  
 TO REMAIN



FIRE ALARM LEGEND  
 ① SMOKE ALARM  
 ⊕ CO/SMOKE COMBO

LEGEND:  
 [Solid Grey] EXISTING TO REMAIN  
 [Dashed Grey] DEMO  
 [Thin Line] NEW WORK

INACCESSIBLE  
 SPACE UNDER ROOF

DN

	ARCHITECT: UP DESIGN & BUILD, LLC EMAIL: info@updesignbuild.com PHONE: 617-902-8826	54 WEST ST Worcester, MA	PRELIMINARY CONCEPT, NOT VALID WITHOUT STAMP
	DEMOLITION PLAN ATTIC EXISTING	Project number 0.08 Date 04/07/2024 Drawn by Author Checked by Checker	D004 Scale As indicated

# 54 WEST ST WORCESTER, MA 01604 PARKING PLAN



LOCUS MAP 1"=400'

OWNER/  
APPLICANT: +  
YING RZIKA AND XIULAN  
CHANG

SITE ADDRESS: +  
54 WEST ST,  
WORCESTER, MA 01604

DRAWING LIST +

- 1 600 COVER SHEET
- 2 601 NOTES
- 3 YLD EXISTING CONDITIONS PLAN
- 4 CLO SITE PLAN
- 5 CLO UTILITY PLAN
- 6 CLO LANDSCAPING PLAN
- 7 ECLD EROSION CONTROL PLAN
- 8 CS1 DETAIL SHEET 1 OF 4
- 9 CS2 DETAIL SHEET 2 OF 4
- 10



CIVIL ENGINEERING LAND SURVEYING  
FOR GRHAM, P.L.L.  
15 BACHU DRIVE  
WESTFORD, MA 01586  
(978) 896-6999

ROBERT D. OMER, P.L.L.  
88 BRURY LANE  
WORCESTER, MA 01609  
TWO-STAR 6514



30.10.2024		
		0

# #54 WEST ST

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MASSACHUSETTS PROFESSIONAL ENGINEERING AND LAND SURVEYING REGULATIONS. THE ENGINEER AND LAND SURVEYOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY A REVISION SHEET. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND LAND SURVEYOR.

**GENERAL NOTES** +

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.

**SYMBOLS** +

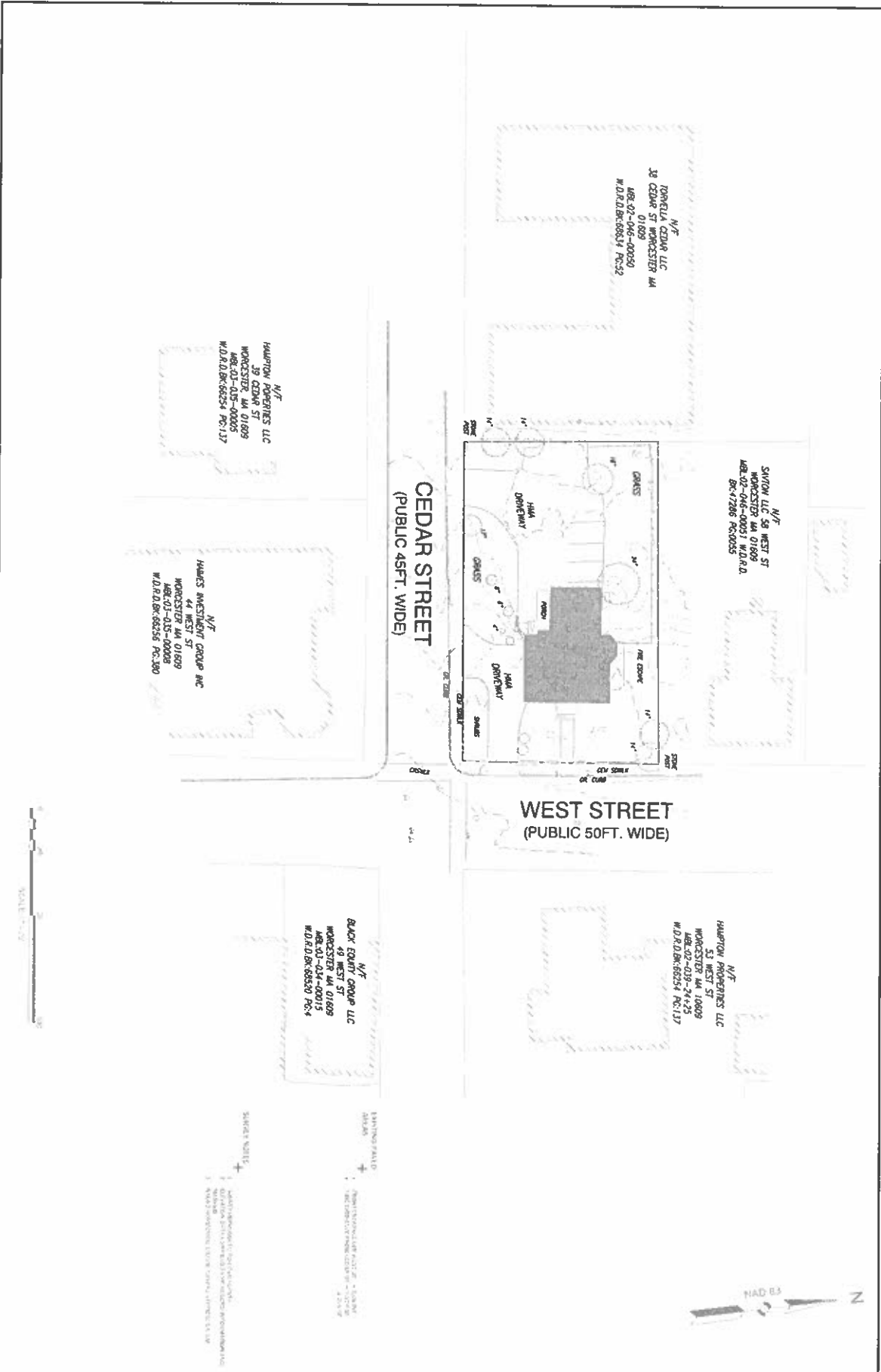
- |  |       |                                     |
|--|-------|-------------------------------------|
| 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:                               | ASCE  | AMERICAN SOCIETY OF CIVIL ENGINEERS |
| 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | IBC   | INTERNATIONAL BUILDING CODE         |
| 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | ICC   | INTERNATIONAL CODE COUNCIL          |
| 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | ASPH  | ASPHALT                             |
| 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | CONC  | CONCRETE                            |
| 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | GRASS | GRASS                               |
| 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | PAV   | PAVEMENT                            |
| 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | REIN  | REINFORCEMENT                       |
| 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.  | STAIR | STAIR                               |
| 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. | WALL  | WALL                                |

**ABBREVIATIONS** +

- |       |                                     |
|-------|-------------------------------------|
| ACI   | AMERICAN CONCRETE INSTITUTE         |
| ASCE  | AMERICAN SOCIETY OF CIVIL ENGINEERS |
| ASPH  | ASPHALT                             |
| CONC  | CONCRETE                            |
| GRASS | GRASS                               |
| PAV   | PAVEMENT                            |
| REIN  | REINFORCEMENT                       |
| STAIR | STAIR                               |
| WALL  | WALL                                |



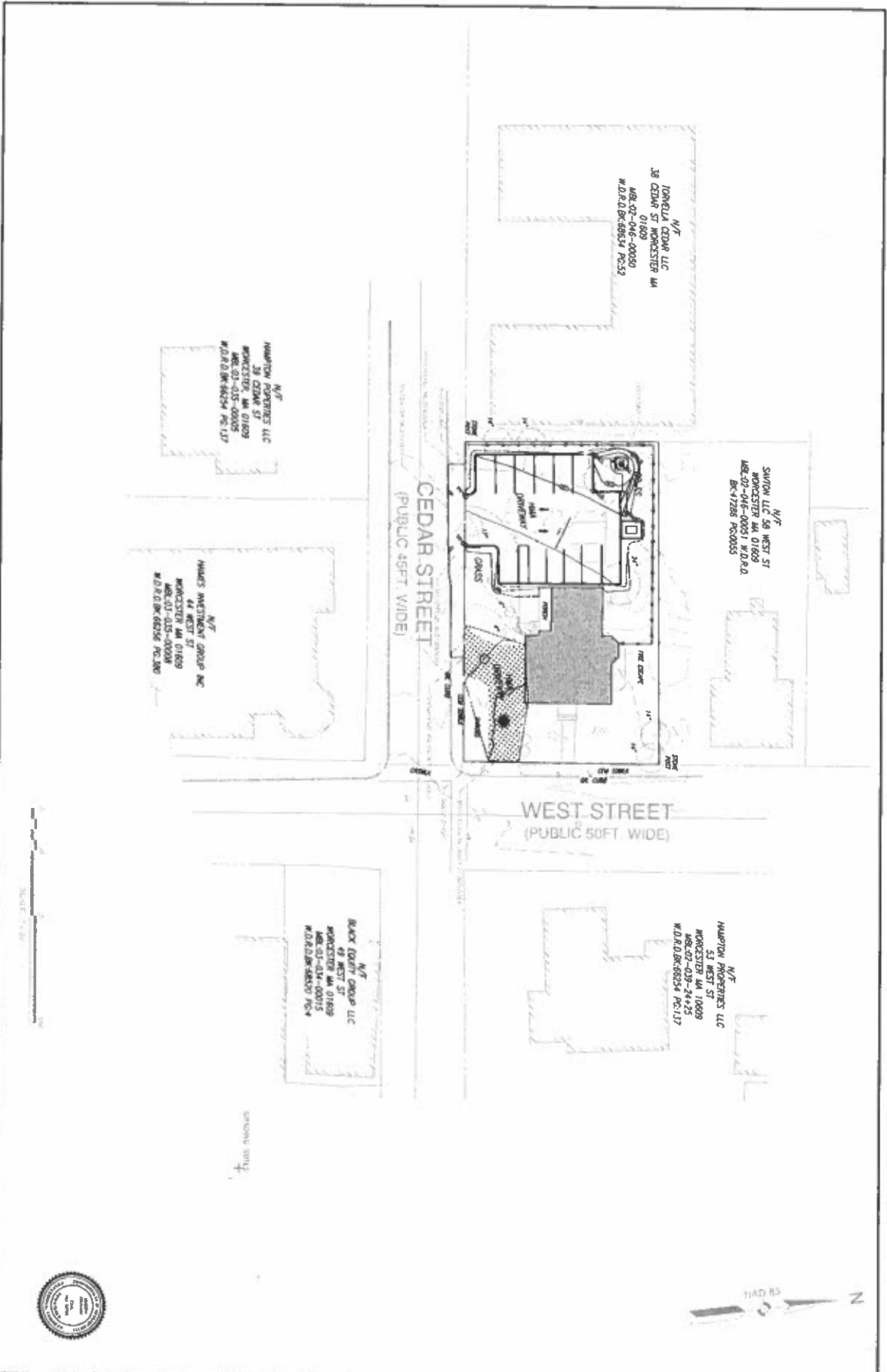
<b>GO.1</b>	<p><b>54 WEST ST. SITE PLAN</b></p> <p><b>NOTES</b></p>	<p><b>YING RIZIKA AND XIULAN CHANG</b></p>				
<p>DATE: 7/14/24</p> <p>SCALE: AS SHOWN</p>	<p>PROJECT NO: 24-0000000000</p> <p>SHEET NO: 01 OF 01</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION		
NO.	DESCRIPTION					



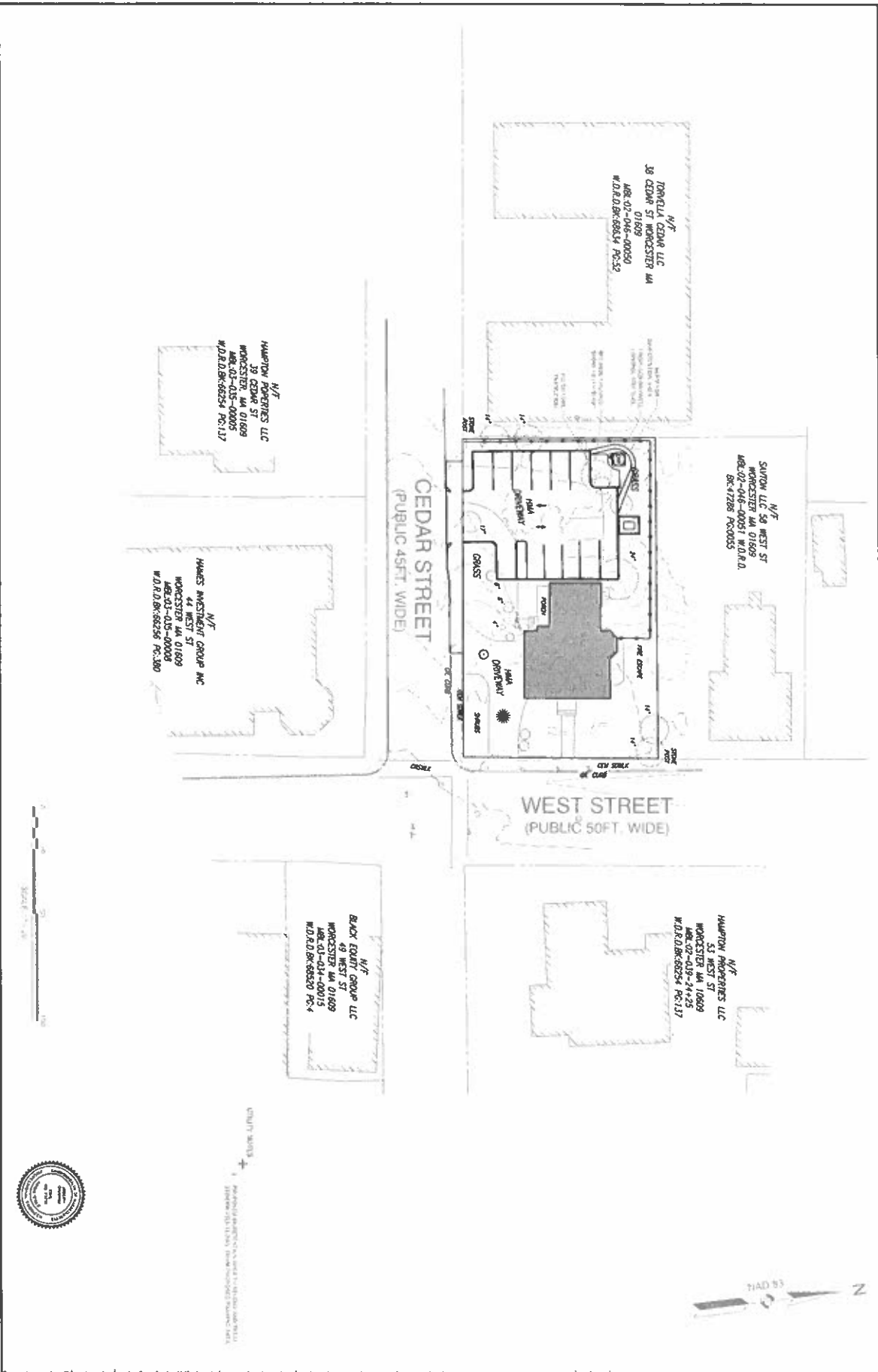
<p><b>54 WEST ST. SITE PLAN</b> EXISTING CONDITIONS PLAN</p>		<p><b>YING RIZIKA AND XIULAN CHANG</b></p>	
<p>DATE: 7/13/24</p> <p>BY: [Signature]</p>	<p>DATE: 7/13/24</p> <p>BY: [Signature]</p>	<p>DATE: 7/13/24</p> <p>BY: [Signature]</p>	<p>DATE: 7/13/24</p> <p>BY: [Signature]</p>
<p>SCALE: 1" = 10'</p>			







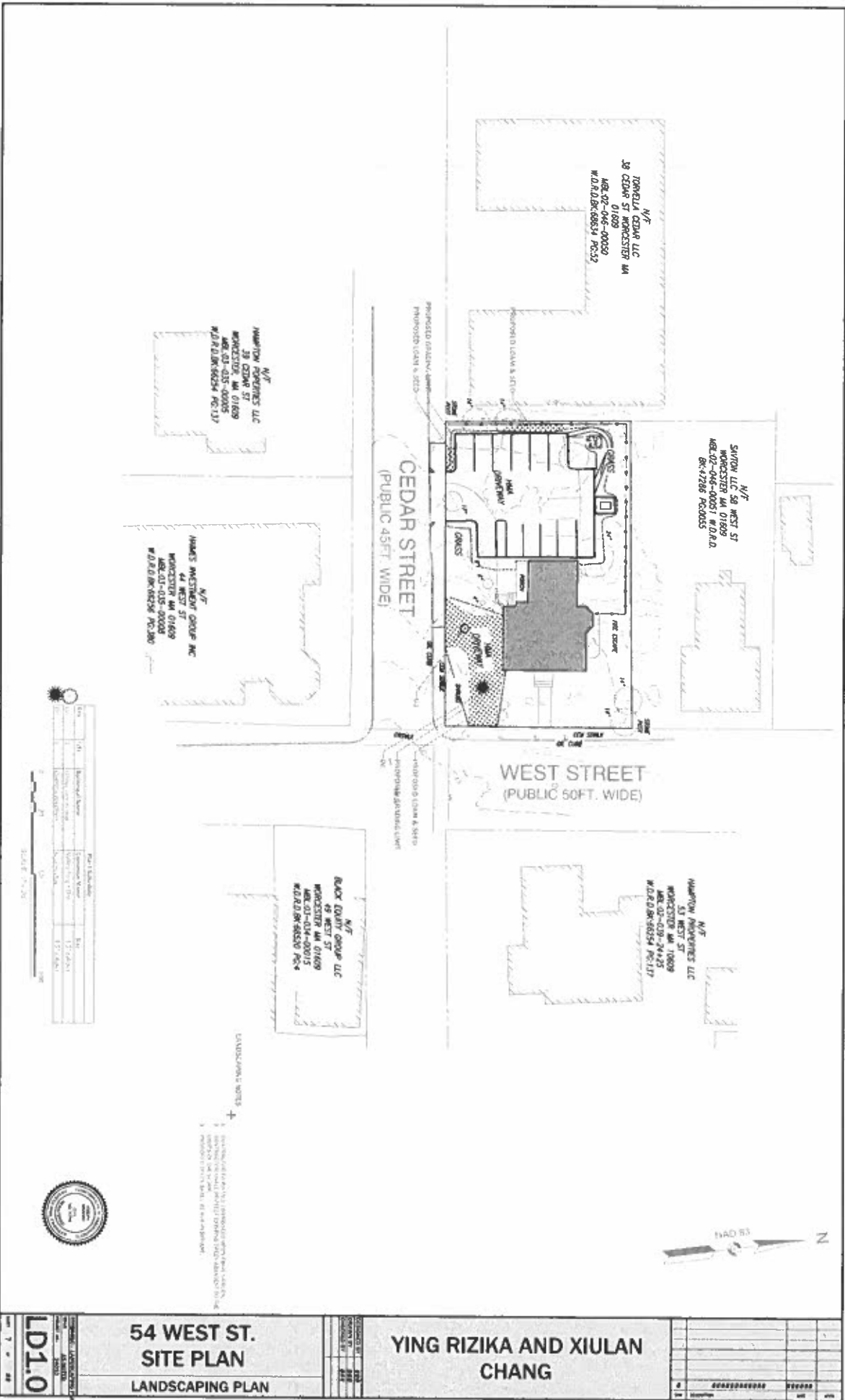
	<h2 style="margin: 0;">54 WEST ST. SITE PLAN</h2> <p style="margin: 0;">GRADING PLAN</p>	<h2 style="margin: 0;">YING RIZIKA AND XIULAN CHANG</h2>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">NO.</td> <td style="font-size: 8px;">DATE</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DATE								
NO.	DATE												
C2.0	PREPARED BY: YING RIZIKA CHECKED BY: XIULAN CHANG DATE: 7/14/24	BOARD REVIEW: 7/14/24 DATE: 7/14/24	SHEET NO. 22 TOTAL SHEETS: 22										

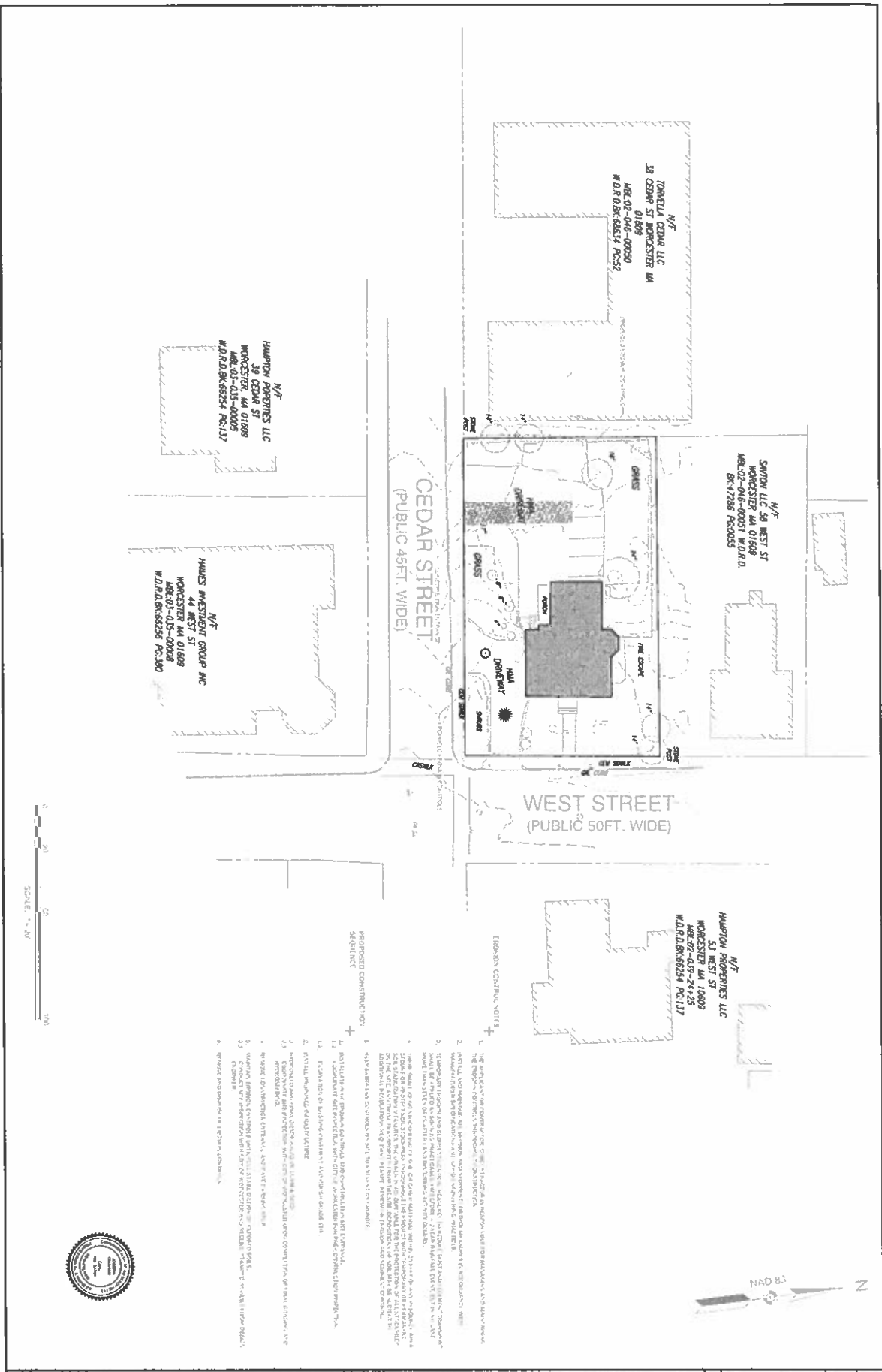


QUALITY MATTERS  
 1000 STATE ST. SUITE 1000  
 WORCESTER, MA 01609  
 TEL: 508-853-1100 FAX: 508-853-1101  
 WWW.QMATT.COM



<b>C3.0</b> 54 WEST ST. UTILITY PLAN	PREPARED BY YING RIZIKA AND XIULAN CHANG	<b>54 WEST ST.          SITE PLAN          UTILITY PLAN</b>	DATE 7/14/24
	CHECKED BY [Signature]		BOARD REVIEW [Signature]

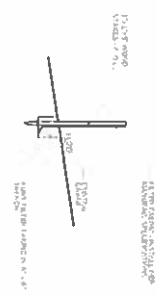




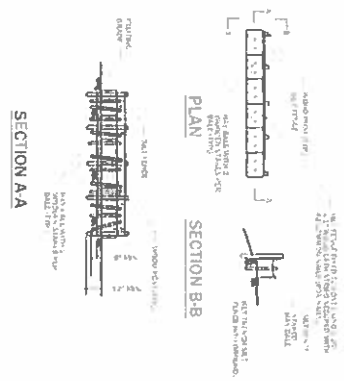
- EROSION CONTROL NOTES**
1. THE DESIGN OF EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS AND BOSTON PERMITS REGULATIONS, CHAPTER 91A, SECTION 10.00, AND THE CITY OF BOSTON PERMITS REGULATIONS, CHAPTER 222A, SECTION 222A.00.
  2. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
  3. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
  4. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
  5. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
- PROPOSED CONSTRUCTION**
1. INSTALLATION OF EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS AND BOSTON PERMITS REGULATIONS, CHAPTER 91A, SECTION 10.00, AND THE CITY OF BOSTON PERMITS REGULATIONS, CHAPTER 222A, SECTION 222A.00.
  2. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
  3. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
  4. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.
  5. EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF EXPOSED SOILS AND TO PREVENT POLLUTION OF ADJACENT WATERSHEDS.



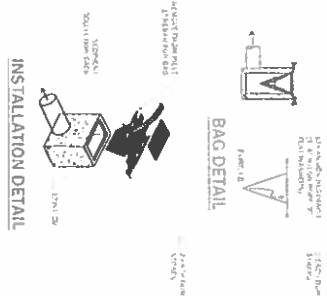
<p><b>ECL1.0</b></p>	<p><b>54 WEST ST. SITE PLAN</b></p> <p><b>EROSION CONTROL PLAN</b></p>	<p><b>YING RIZIKA AND XIULAN CHANG</b></p>	<p>BOARD REVIEW</p> <p>7/24/24</p>
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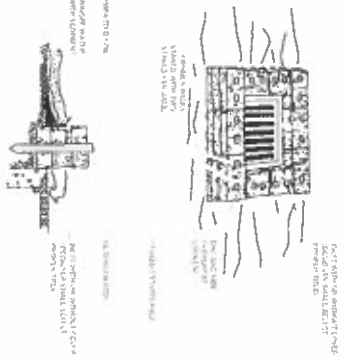
1 SILTATION FENCING  
SCALE: 1/4"



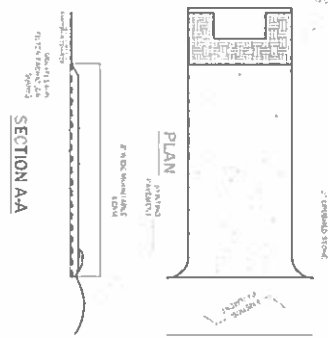
2 HAYBALE SILT FENCING  
SCALE: 1/4"



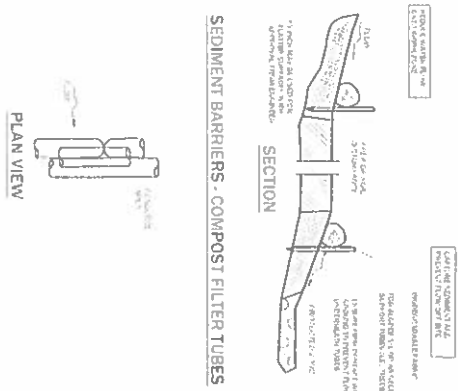
3 INLET PROTECTION  
SCALE: 1/4"



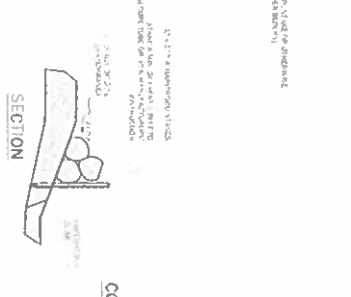
4 INLET SEDIMENT BARRIER  
SCALE: 1/4"



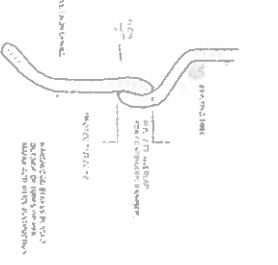
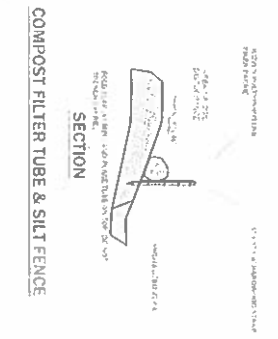
5 CONSTRUCTION ENTRANCE  
SCALE: 1/4"



6 COMPOST FILTER TUBES  
SCALE: 1/4"



COMPOST FILTER TUBE BERM  
(SLOPES 2:1 OR STEEPER)



SEDIMENT BARRIER  
SCALE: 1/4"

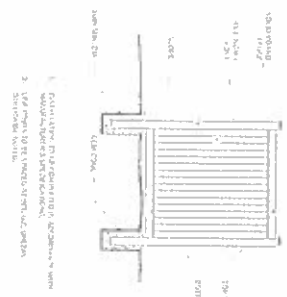




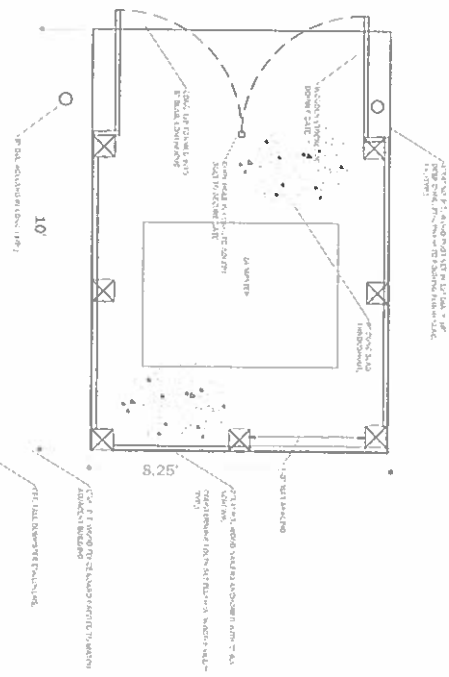
1 FLUSH EDGE OF HMA



2 SOLID BOARD PRIVACY FENCE



3 DUMPSTER ENCLOSURE





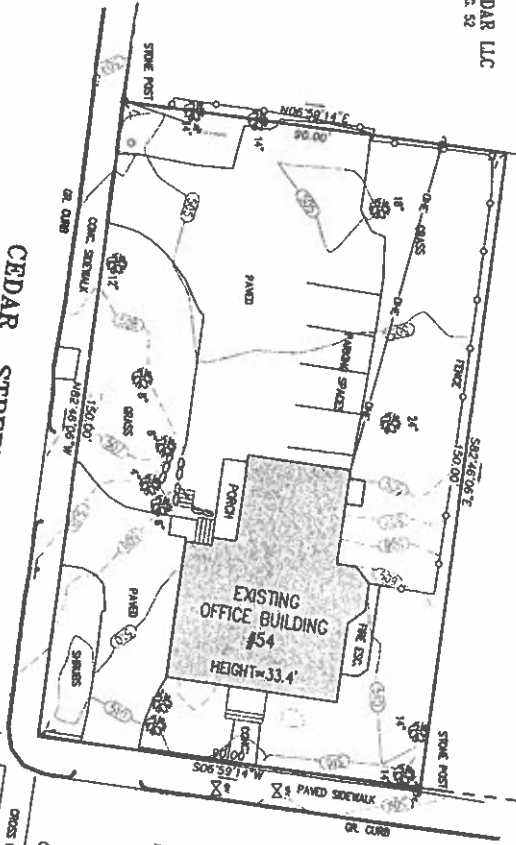


N/F  
TORVELLA CEDAR LLC  
BK. 88833 PC. 52

N/F  
SAVTON, LLC  
BK. 47288 PC. 55

CEDAR STREET  
(PUBLIC ~ 45.0' WIDE W/DE)

WEST STREET  
(PUBLIC ~ 50.0' WIDE)



**NOTES:**  
THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.

**REFERENCES:**  
DEED BOOK 88837 PAGE 270  
ASSESSORS REFERENCE: 02-046-00052

**ZONING:**  
B0-1.0  
ALL ABOVE DEEDS AND PLANS ARE RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC. AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES IN ACCORDANCE WITH CHAPTER B2 SECTION 40 INCLUDING AMENDMENTS AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIC-SAFE AT 1-888-344-7233.



0.135.21.24  
DATE

**B&R SURVEY, INC.**

100 GROVE STREET  
WORCESTER, MA 01605  
TEL 508-756-8579  
FAX 508-421-4797

**EXISTING CONDITIONS SITE PLAN**  
LAND OWNED BY  
**YING RIZIKA & XIULAN CHANG**

54 WEST STREET  
WORCESTER, MASSACHUSETTS

SCALE: 1"=20' DATE: OCTOBER 30, 2024

FIELD: RUS	CALC: RPB	CHECK: RUS
SHEET 1 OF 1		JOB #22-265